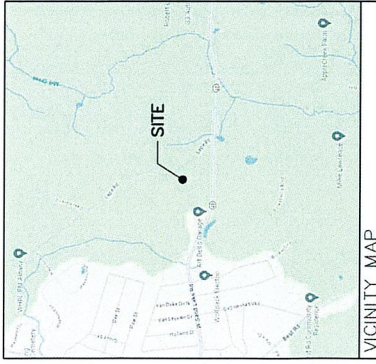


CELLCO PARTNERSHIP,
d/b/a



SITE NAME:
RENSELAEER SQUARE

FUZE ID #: 17022587
MDG #: 5000921702



DIRECTIONS
DIRECTIONS TO SITE:
FROM NORTH GREENBUSH FACILITY,
TURN RIGHT ONTO US-4 S/M GREENBUSH RD AND FOLLOW FOR 1.5+ MILES. TURN LEFT ONTO NY-43 E/W SAND LAKE RD AND FOLLOW FOR 1/2+ MILES. SITE WILL BE ON THE LEFT.

SITE ADDRESS:
4375 NY 43
RENSELAEER, NY 12144

MUNICIPALITY:
TOWN OF NORTH GREENBUSH

COUNTY:
RENSELAEER

TAX MAP NUMBER:
145-8-11

ZONING DISTRICT:
AR-AGRICULTURAL RESIDENTIAL

STRUCTURE COORDINATES:
43.832024°
-73.814784°

GROUND ELEVATION:
496.0 ± AMSL

PROPERTY OWNER:
DENISE L HANLEY
RENSELAEER, NY 12144

APPLICANT:
VERIZON WIRELESS
1275 JOHN STREET, SUITE 100
WEST HENNETTA, NY 14586

CONTACT PERSON:
MARGARET BAUGHMAN (HAYES)

CONTACT PHONE:
(585) 208-6813

PROJECT SUMMARY

PROJECT DESCRIPTION
THE PROPOSED WORK CONSISTS OF INSTALLING CELLULAR ANTENNAS AND RELATED EQUIPMENT ON A PROPOSED MONOPOLE AND THE CONSTRUCTION OF A 10' HIGH FENCED SECURITY PERIMETER TO COMPLY WITH LOCAL ORDINANCES. UNDERGROUND POWER AND FIBER UTILITIES TO SERVICE THE FACILITY.

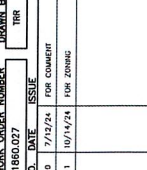
REV. NO.	DESCRIPTION	REVISION DATE
1	TITLE SHEET	10/14/24
1	ADJOINERS PLAN	10/14/24
1	SETBACK PLAN & BULK REQUIREMENTS	10/14/24
1	OVERALL SITE PLAN	10/14/24
1	DRIVEWAY PLAN & PROFILE	10/14/24
1	SITE DETAIL PLAN	10/14/24
1	SETBACK & ORIENTATION PLAN	10/14/24
1	SITE DETAILS	10/14/24
1	SITE DETAILS	10/14/24
1	EQUIPMENT ELEVATIONS	10/14/24

SHEET INDEX

THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNLESS ALL SHEETS OF THIS SET OF PLANS AND EACH SHEET OF THE DRAWINGS HAS BEEN REUSED AND ISSUED FOR CONSTRUCTION.



1525 JOHN STREET, SUITE 100
WEST HENNETTA, NY 14586



WORK ORDER NUMBER: 11860027
DRAWN BY: TRN
ISSUE DATE: 7/15/24
FOR COMMENT: FOR ZONING
10/14/24



UNLIMITED ALTERATION OR ADDITION TO A PLAN OR SPECIFICATION IS A VIOLATION OF PROFESSIONAL ETHICS AND CONSTITUTES PROFESSIONAL NEGLIGENCE UNDER SECTION 2 OF THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED ON THIS DOCUMENT. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL BE THE CONTACT PERSON FOR ALL PROJECTS.

RENSELAEER SQUARE
FUZE ID#: 17022587
MDG#: 5000921702
SITE ADDRESS:
4478 NY 43
TOWN OF NORTH GREENBUSH
RENSELAEER COUNTY
NY 12144

TITLE SHEET
SHEET NUMBER: T-1

Before You Dig, Drill Or Blast!

UDIGNY — NEW YORK

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED FOR 22" x 34" FULL SIZE AND 11" x 17" HALF SIZE. OTHER SIZED VERSIONS ARE NOT PRINTED TO THE SCALE. CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



1275 JOHN STREET, SUITE 100
WEST HOBOKEN, NY 14588



PROFESSIONAL SURVEYING, ENGINEERING, ARCHITECTURE, PLANNING
1000 WEST HOBOKEN AVENUE, SUITE 100
WEST HOBOKEN, NJ 07093
PHONE: (201) 881-8833
FAX: (201) 881-8834
WWW.TECTONICSURVEYING.COM

WORK ORDER NUMBER: 118660.027
DRAWN BY: TTR

NO.	DATE	ISSUE	FOR COMMENT
0	7/12/24		
1	10/14/24		FOR REVIEW

RELEASED BY: _____ DATE: _____



UNAUTHORIZED ALTERATION OF ANY PART OF A PLAN OR MAP IS PROHIBITED. ANY SUCH ALTERATION SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. THE SURVEYOR AND ARCHITECT ASSUME NO LIABILITY FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE SURVEYOR.

RENSSELAER SQUARE
FUZE ID#: 17022587
MDG#: 5000921702

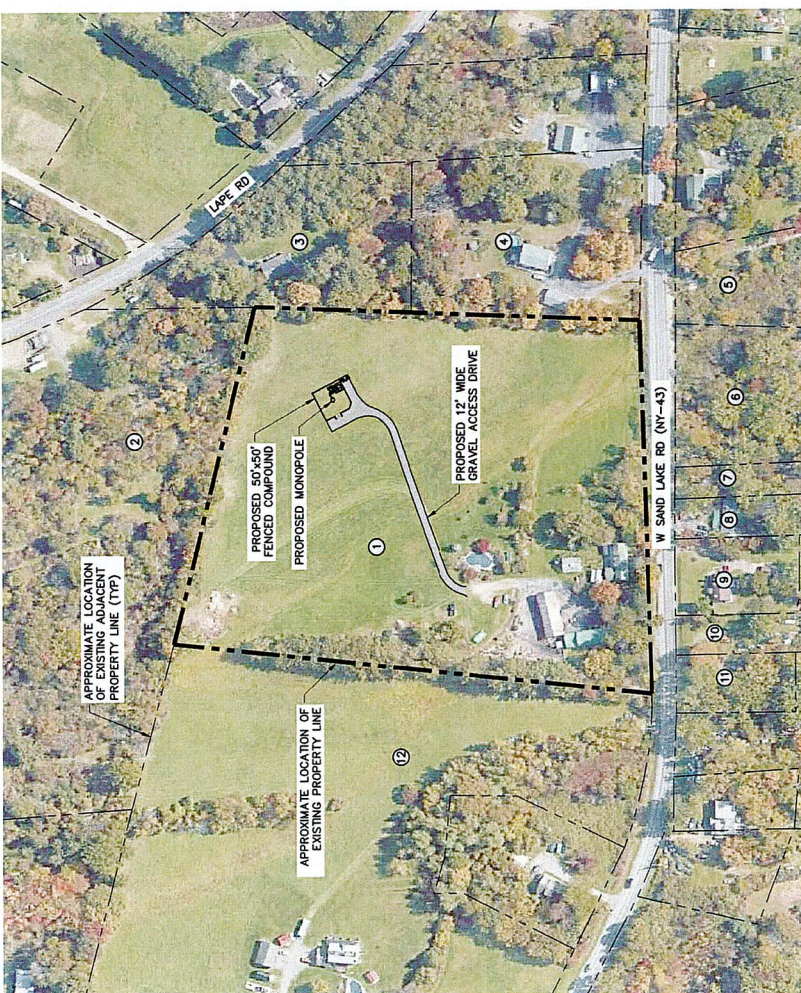
SITE ADDRESS
4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

SHEET TITLE
ADJOINERS PLAN

SHEET NUMBER
AD-1

ID	SBL	OWNER	ADDRESS	CITY/STATE/ZIP
1	145-8-11	Hanley, Denise L	4478 NY 43	Rensselaer, NY 12144
2	145-9-1.1	Teal, Peter D	43 Oberlook Ave	Wynantskill, NY 12198
3	145-9-2.3	Spensiero, Nancy M	31 Lape Rd	Rensselaer, NY 12144
4	145-9-2.2	Alansio, Jr Anthony P	4456 NY 43	Rensselaer, NY 12144
5	145-9-18.3	Dallino, Jr John Charles	25 Forest Hills Blvd	Rensselaer, NY 12144
6	145-8-12	Dell, James	4495 NY 43	Rensselaer, NY 12144
7	145-8-14.1	Dell, James	4495 NY 43	Rensselaer, NY 12144
8	145-8-13.1	Allen, Herbert	4475 NY 43	Rensselaer, NY 12144
9	145-8-13.2	Sanchez Celyva, Rebeco	4479 NY 43	Rensselaer, NY 12144
10	145-8-13.3	Dell, James	4495 NY 43	Rensselaer, NY 12144
11	145-8-14.3	Dell, Charlotte	4495 NY 43	Rensselaer, NY 12144
12	145-8-14.2	Dell, Kathryn S	1450 NY 43	Rensselaer, NY 12144

ADJOINERS LIST
SCALE: NTS



NOTE:
THE PROPERTY LINES HEREON ARE APPROXIMATE BASED ON GIS DATA AND ARE FOR ORIENTATION PURPOSES ONLY. THEY DO NOT REPRESENT A PROPERTY/BOUNDARY DECISION BY A LAND SURVEYOR.

ADJOINERS PLAN
SCALE: 1" = 200' (1/4" = 100')





1575 MAIN STREET SUITE 100
WEST HURON, NY 14585



Professional Geomatics, Mapping & Land Survey, LLC
1000 Main Street, Suite 100
West Huron, NY 14585
Phone: (518) 837-4437
www.tectonicny.com

WORK ORDER NUMBER: 11860.027
DRAWN BY: TRR

NO. DATE ISSUE FOR COMMENT

0 7/12/24

1 10/14/24 PUK ZONING

DATE

RELEASED BY



WARNING: ALTERATION OF ADDRESS TO A PLAT
SUBJECT TO THE JURISDICTION OF THE STATE OF NEW YORK
SECTION 208 OF THE REAL PROPERTY LAW AND SECTION 209
OF THE REAL PROPERTY LAW OF THE STATE OF NEW YORK
SECTION 2 OF THE REAL PROPERTY LAW OF THE STATE OF NEW YORK
OF THE STATE OF NEW YORK, I HEREBY CERTIFY THAT I AM A
LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NEW YORK
AND THAT I AM THE AUTHOR OF THIS PLAT.
DATE: 10/14/24
ORIGINAL SIZE: 11" x 17"
SCALE: 1" = 30'

RENSSELAER SQUARE
FUZE ID#: 17022587
MDG#: 5000921702

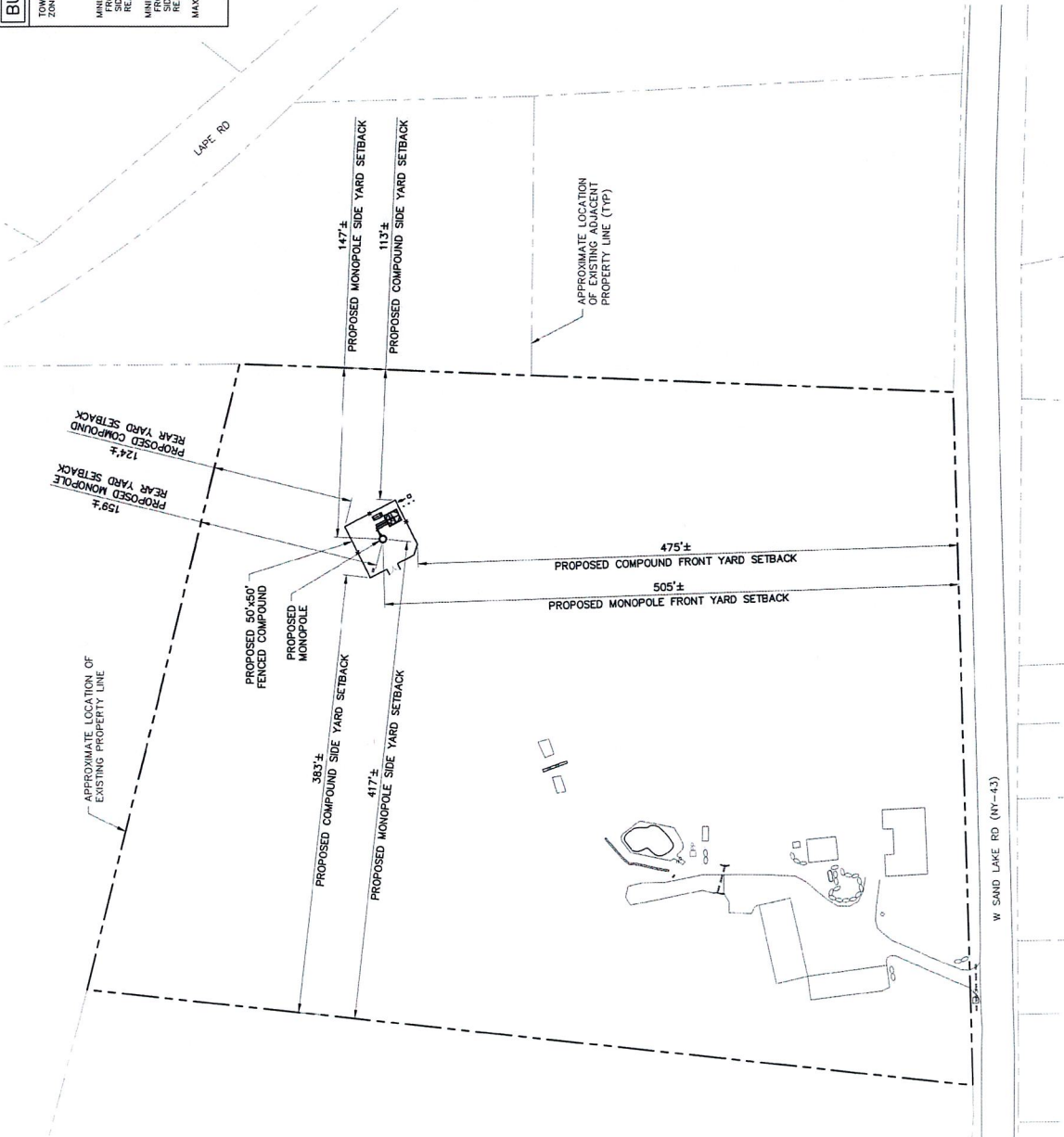
4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

SETBACK PLAN &
BULK REQUIREMENTS

SHEET NUMBER
SB-1

BULK REQUIREMENTS

TOWN OF NORTH GREENBUSH ZONING DISTRICT: AR-AGRICULTURAL RESIDENTIAL			
MINIMUM YARDS (TOWER)	REQUIRED	EXISTING	PROPOSED
FRONT:	100 FT	-	505 FT
REAR:	100 FT	-	159 FT
MINIMUM YARDS (COMPOUND)	75 FT	-	475 FT
FRONT:	75 FT	-	113 FT
REAR:	75 FT	-	124 FT
MAXIMUM TOWER HEIGHT:	BASED ON RF NEED	-	114 FT



NOTE:
THE PROPERTY LINES HEREON ARE APPROXIMATE BASED ON GIS DATA AND ARE FOR ORIENTATION PURPOSES ONLY. THEY DO NOT REPRESENT A PROPERTY/BOUNDARY DECISION BY A LAND SURVEYOR.

1. SETBACK PLAN
SB-1 SCALE: 1" = 30' (1:914.4)
1" = 30' (1:914.4)



1525 OPEN STREET, SUITE 100
WEST HARTFORD, CT 06107



PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW YORK
No. 0001 0001-0001
Exp. 12/31/2011
City of New York
No. 15110
www.tectonicny.com

WORK ORDER NUMBER: DRAWN BY:
11860.027

NO. DATE ISSUE

0 7/12/24 FOR COMMENT

1 10/14/24 IAW ZONING

NO.	DATE	ISSUE
0	7/12/24	FOR COMMENT
1	10/14/24	IAW ZONING

RELEASED BY: DATE:



UNAUTHORIZED REVISION OR ADDITION TO A PLAN
DRAWING IS A VIOLATION OF SECTION 2200 OF THE
LABOR LAW AND SECTION 2201 OF THE
LABOR LAW OF THE STATE OF NEW YORK. ANY
REVISIONS TO THIS DRAWING MUST BE MADE
BY THE PROFESSIONAL ENGINEER OR ARCHITECT
WHICH IS RESPONSIBLE FOR THE ORIGINAL
DRAWING. ANY REVISIONS MADE BY OTHER
PERSONS SHALL BE CONSIDERED VOIDABLE.



RENSSELAER SQUARE
FUZE ID#: 17022587
MDC#: 5000921702

4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

OVERALL SITE PLAN

SHEET NUMBER

C-1A

UDIGNY — NEW YORK



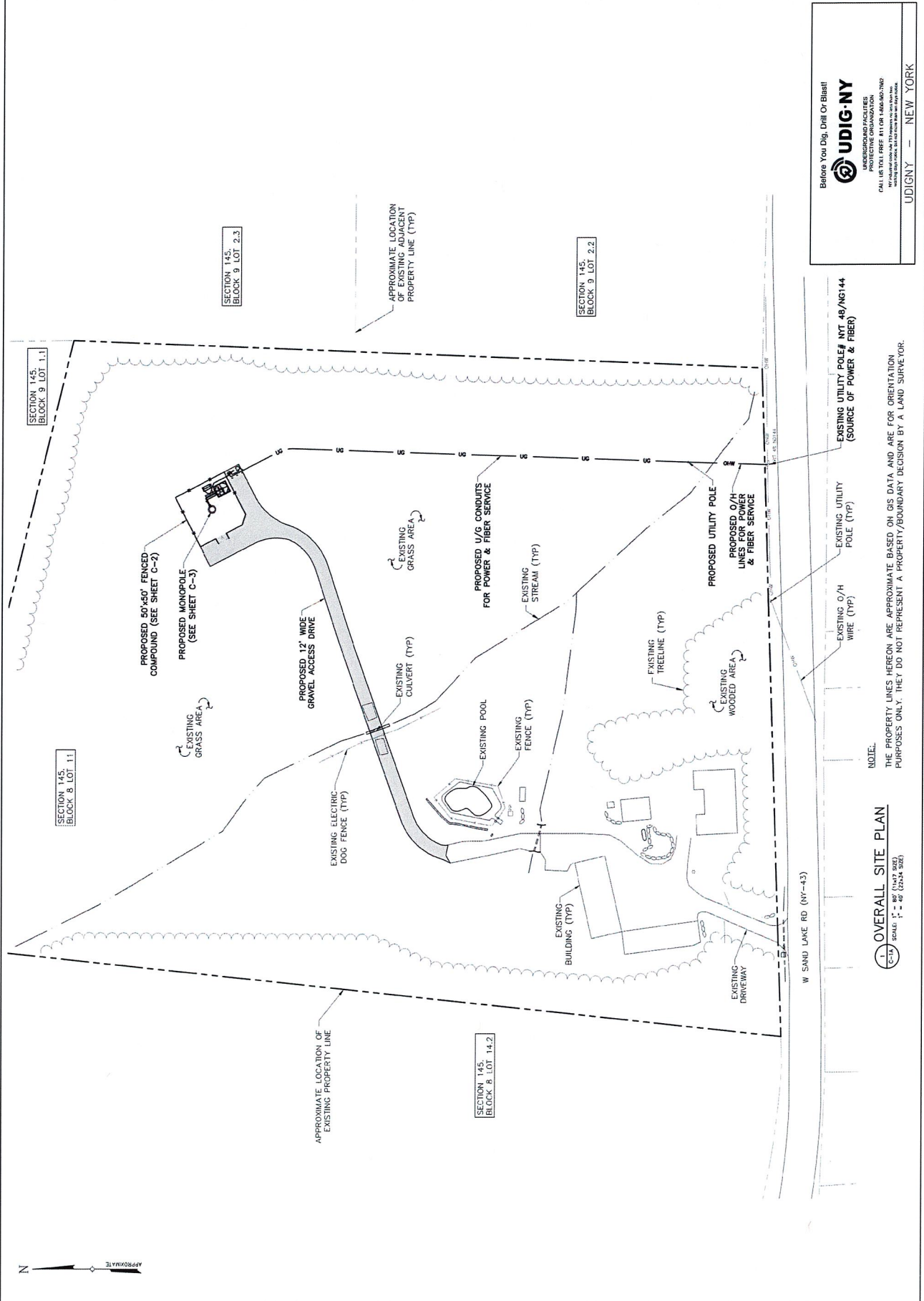
BEFORE YOU DIG, DRILL OR BLAST!
CALL US AT 1-800-4-A-DIG-1-1
FOR A FREE COPY OF OUR DIGGING
GUIDE.

CALL US AT 1-800-4-A-DIG-1-1
FOR A FREE COPY OF OUR DIGGING
GUIDE.

UDIGNY — NEW YORK

NOTE:
THE PROPERTY LINES HEREON ARE APPROXIMATE BASED ON GIS DATA AND ARE FOR ORIENTATION
PURPOSES ONLY; THEY DO NOT REPRESENT A PROPERTY/BOUNDARY DECISION BY A LAND SURVEYOR.

OVERALL SITE PLAN
SCALE: 1" = 80' (1:6400)
1" = 40' (1:3200)





1275 50th STREET, SUITE 100
WEST HOBOKEN, NJ 07514



PROJECT: VERIZON WIRELESS U/G POWER AND FIBER CONDUITS
DATE: 7/15/24
ISSUE: FOR COMMENT
DRAWN BY: TRR
NO. DATE

NO.	DATE	ISSUE	FOR COMMENT
1	10/14/24	FOR ZONING	

RELEASED BY: _____ DATE: _____



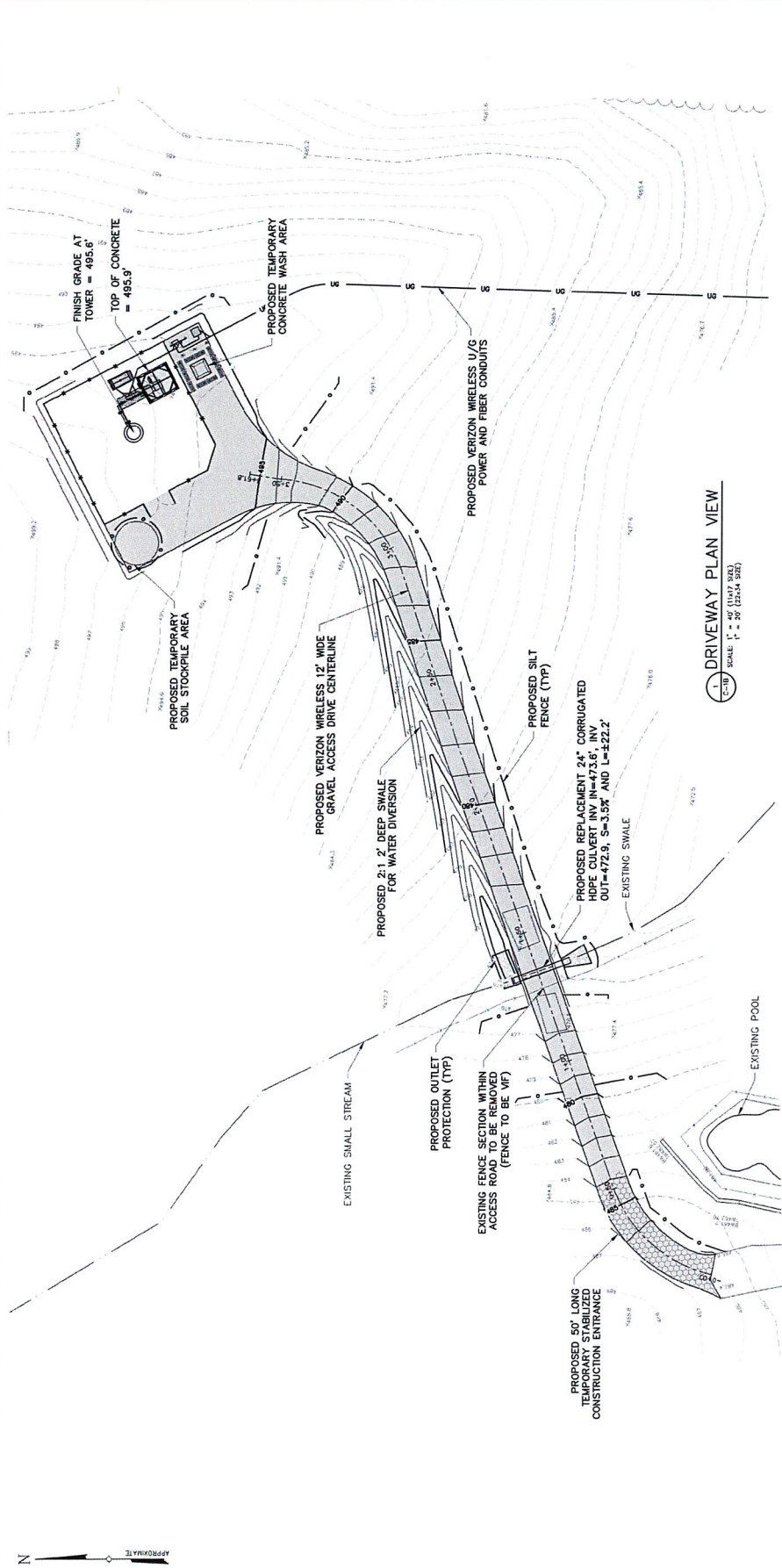
UNAUTHORIZED REVISION OR ADDITIONS TO A PLAN, SPECIFICATION, OR CONTRACT DOCUMENT IS A VIOLATION OF SECTION 2209 OF THE ENGINEERING PROFESSIONAL EMERGENCY ACT OF 1968, AS AMENDED, AND AN UNLAWFUL ACT UNDER THE PROFESSIONAL EMERGENCY ACT OF 1968, AS AMENDED. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN.

RENSSELAER SQUARE
FUZE ID#: 17022587
MDC#: 5000921702

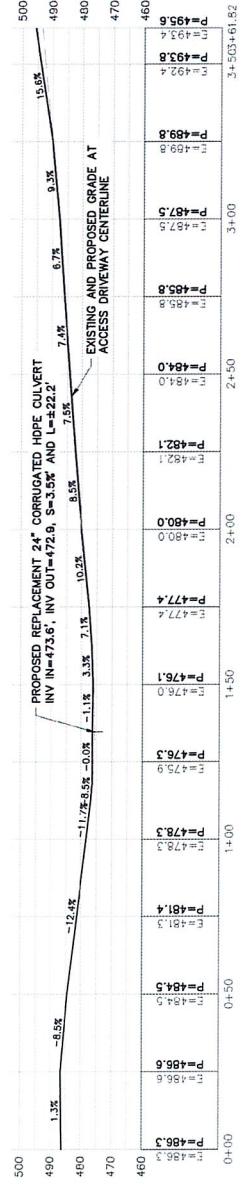
4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

DRIVEWAY PLAN
& PROFILE

SHEET TITLE
SHEET NUMBER
C-1B



DRIVEWAY PLAN VIEW
SCALE: 1" = 20' (22x14 3/8")



DRIVEWAY PROFILE VIEW
SCALE: 1" = 20' (22x14 3/8")

PROPOSED GRAVEL DRIVE LENGTH = 361.8'±
UNDERGROUND UTILITY LENGTH = 430'±
AREA OF DISTURBANCE = 14,150. SF ± (0.32 ACRES)

Before You Dig, Drill Or Blast!

UDIGNY — NEW YORK



1275 PARK STREET, SUITE 100
WEST HOBOKEN, NJ 07414



PROFESSIONAL ENGINEERING, ARCHITECTURE & LAND SURVEYING, P.C.
Professional Engineer No. 12007
Professional Architect No. 12007
Professional Land Surveyor No. 12007
New Jersey State Board of Professional Engineers and Land Surveyors
New Jersey State Board of Professional Architects

WORK ORDER NUMBER: 11860.027
DRAWN BY: TRR

NO.	DATE	ISSUE	FOR COMMENT
0	7/15/24		
1	10/14/24	FOR ZONING	

RELEASED BY: _____ DATE: _____



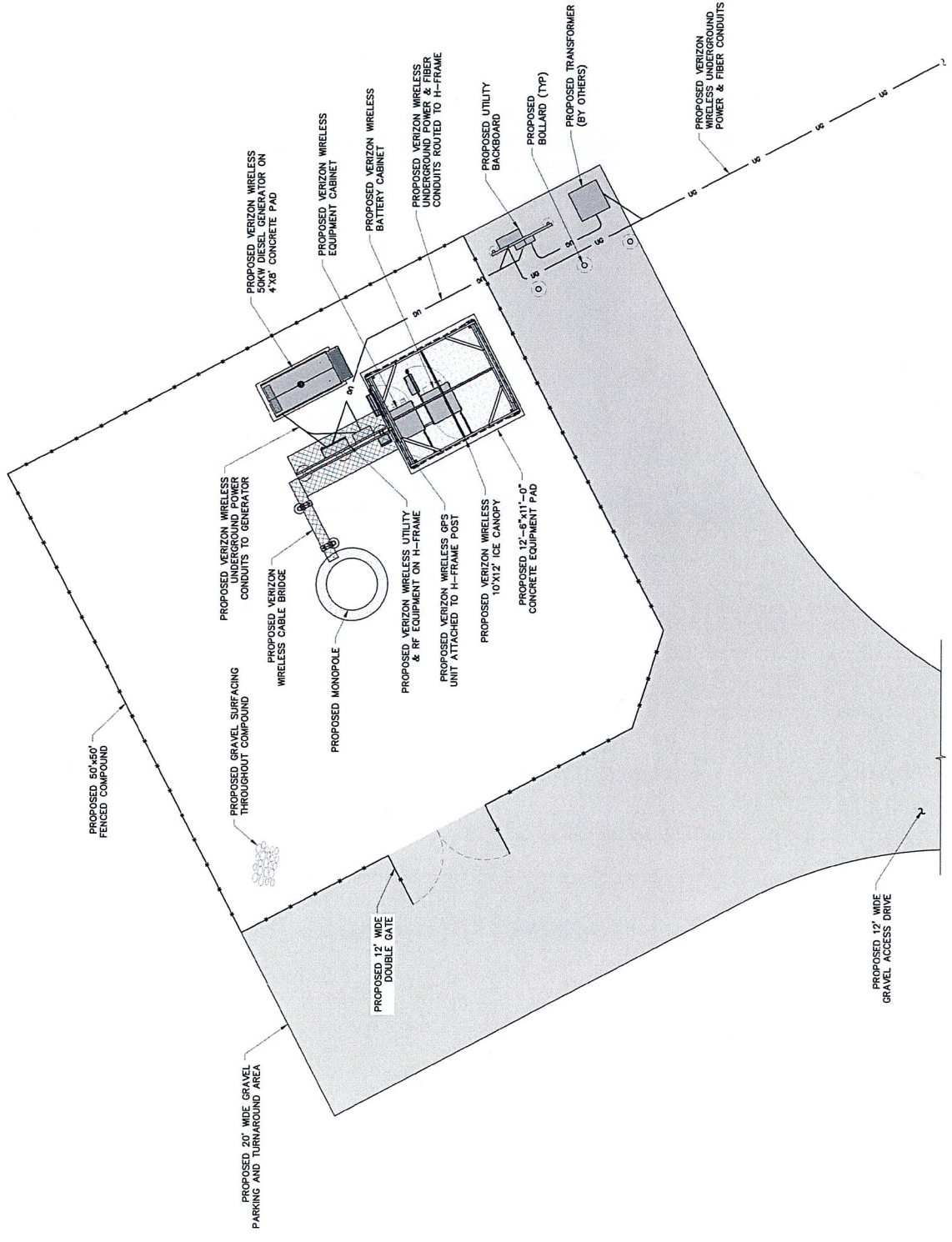
UNAUTHORIZED ALTERATION OR REVISIONS TO A PLAN, SPECIFICATION, OR CONTRACT DOCUMENT ARE PROHIBITED. ANY SUCH ALTERATION OR REVISION SHALL BE MADE ONLY BY THE ORIGINAL DESIGNER OR HIS AUTHORIZED REPRESENTATIVE. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT AND IN ANY WORK PRODUCED HEREFROM. THE PROFESSIONAL ENGINEER OR LAND SURVEYOR IS NOT RESPONSIBLE FOR ANY CONFLICTS WITH ANY OTHER EXISTING OR PROPOSED PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS.

RENSSELAER SQUARE
FUZE ID#: 17022587
MDC#: 5000921702
SITE ADDRESS

4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

SHEET TITLE
SITE DETAIL PLAN

SHEET NUMBER
C-2



1 SITE DETAIL PLAN
SCALE: 1" = 30' (AS SHOWN)



1275 PARK AVENUE SUITE 100
WEST HURSTMAN, NY 10588



TECHNICAL SUPPORT AND PROFESSIONAL SERVICES
1000 WEST 10TH AVENUE SUITE 100
DENVER, CO 80202
PHONE: (303) 733-4330
WWW.TECTONICSUPPORT.COM

WORK ORDER NUMBER: 11860.027 DRAWN BY: TRR

NO.	DATE	ISSUE
0	7/12/24	FOR COMMENT
1	10/14/24	FOR ZONING

RELEASED BY: DATE:



UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN OR SPECIFICATION IS A VIOLATION OF THE ENGINEERING LAW OF THE STATE OF NEW YORK. THE ENGINEER ASSUMES NO LIABILITY FOR THE CONSTRUCTION OF THE WORK AND ANY PERSONS INFRINGING ON THE PROFESSIONAL RIGHTS OF THE ENGINEER OR THE PROFESSIONAL STANDARDS OF THE ENGINEER OR THE ENGINEERING BOARD OF THE STATE OF NEW YORK SHALL BE PROSECUTED THEREFOR.

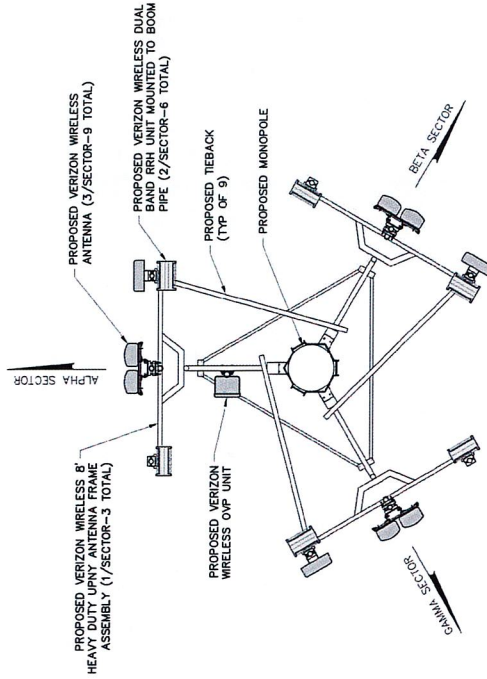
RENSSELAER SQUARE
FUZE ID#: 17022587
MDC#: 5000921702

4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

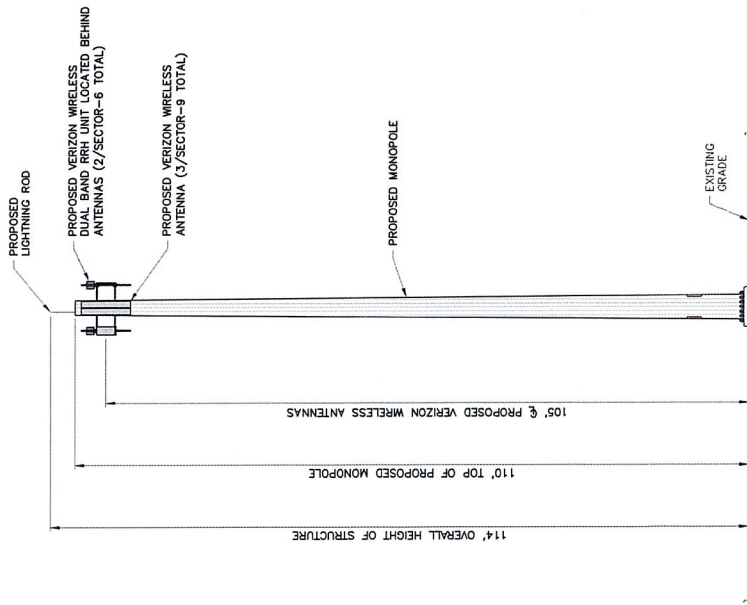
ELEVATION &
ORIENTATION PLAN

SHEET NUMBER

C-3



3 ANTENNA ORIENTATION
SCALE: 3/8" = 1'-0" (20:1 AS SHOWN)



1 ELEVATION
SCALE: 1" = 10' (20:1 AS SHOWN)

NO.	DATE	ISSUE	FOR COMMENT
0	7/12/24		
1	10/14/24	FOR ZONING	

WORK ORDER NUMBER	TRR	DATE
11860027		



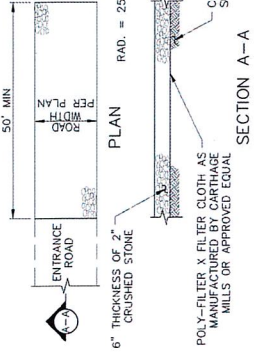
PROJECT NUMBER	DATE
RENSELAER SQUARE	
FUZE ID#: 17022587	
MDG#: 5000921702	

SHEET NUMBER	SHEET TITLE
1	TEMPORARY CONSTRUCTION ENTRANCE

ADDRESS	CITY	COUNTY	STATE	ZIP
4478 NY 43	TOWN OF NORTH GREENBUSH	RENSELAER COUNTY	NY	12144

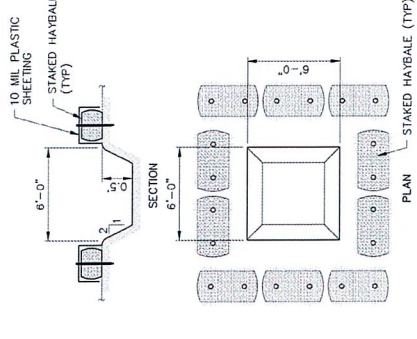
DATE	BY

SCALE	DATE
SCALE: NTS	10/14/24

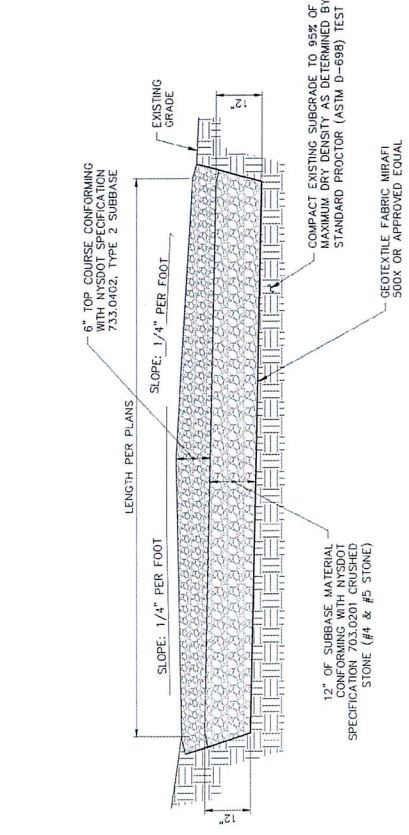


- NOTES:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET
 - THICKNESS - NOT LESS THAN SIX INCHES
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 3:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY, MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. ACCORDING TO THE CONTRACTOR SHALL KNOCK OFF ACCUMULATED SOIL BY MANUAL METHODS UPSLOPE OF A SILT FENCE BARRIER.
 - SEDIMENT TRAPPING - SILT FENCE BARRIER SHALL BE INSTALLED DOWN SLOPE OF CONSTRUCTION ENTRANCE TO CATCH ANY SEDIMENT THAT COULD POTENTIALLY FALL OFF OF CONSTRUCTION EQUIPMENT AND/OR VEHICLES.
 - PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

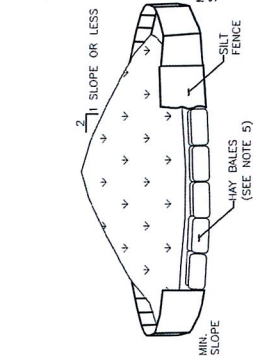


2 TEMPORARY CONCRETE WASH
SCALE: NTS



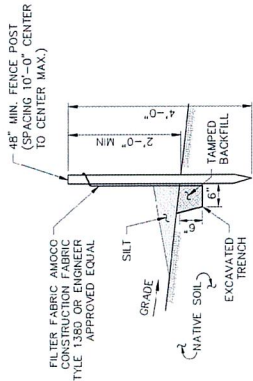
- EARTH WORK, SUBGRADE, COMPACTION & SELECT GRANULAR FILL**
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT FOR THE DESIGN OF THE DRIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES. THE EXPOSED SUBGRADE SHALL BE COMPACTED AND GEOTEXTILE FABRIC SHALL BE INSTALLED AS REQUIRED FOR UNSTABLE SOIL CONDITION.
 - ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-1557) AND WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
 - CONTRACTOR TO ASSURE THAT EXISTING DRAINAGE PATTERNS ARE MAINTAINED.

3 GRAVEL DRIVE CROSS SECTION
SCALE: 3/4" = 1'-0" (11x17 SHEET)
3/4" = 1'-0" (22x34 SHEET)



- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 - HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

4 TEMPORARY SOIL STOCKPILE DETAIL
SCALE: NTS



- NOTES:**
- SILT FENCE SHALL BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.
 - CONTRACTOR SHALL CONSTRUCT SILT FENCE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - EXCAVATE TRENCH 6" WIDE X 6" DEEP, BURY BOTTOM 12" OF FABRIC AND TAMP IN PLACE.
 - WHEN FENCE IS NO LONGER NEEDED, THE ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRENCH AND TRENCH BACK FILLED WITH TOPSOIL AND SEEDS.

5 SILT FENCE DETAIL
SCALE: NTS

WORK ORDER NUMBER	11860.027	DRAWN BY	TRR
NO.	0	DATE	7/13/24
ISSUE	FOR COMMENT		
1	10/14/24	ISSUE	FOR COMMENT

RELEASED BY: _____ DATE: _____



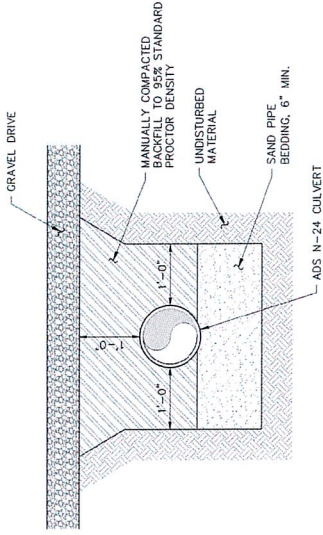
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN OR SPECIFICATION IS PROHIBITED BY LAW. ANY SUCH ALTERATION OR ADDITION SHALL BE CONSIDERED THE PROPERTY OF THE PROFESSIONAL ENGINEER OR ARCHITECT AND SHALL NOT BE CREDITED TO THE CLIENT.

RENSSELAER SQUARE
FUZE ID#: 17022587
MDG#: 5000921702

4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

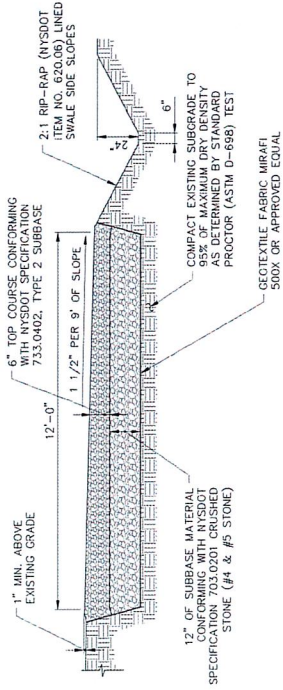
SHEET TITLE
SITE DETAILS

SHEET NUMBER
C-4C



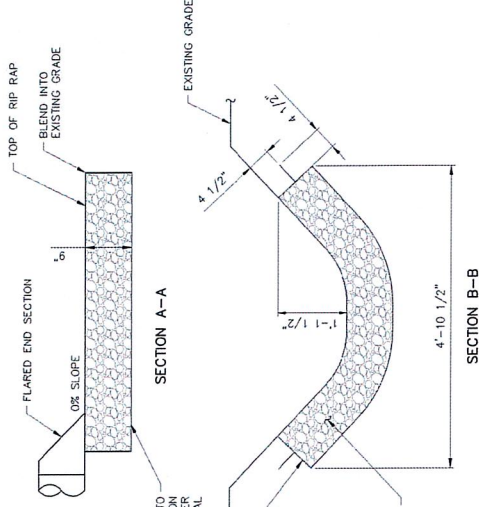
- NOTES:
1. OVEREXCAVATE FOR BELLS.
 2. ADDITIONAL BEDDING MAY BE USED AS ORDERED BY ENGINEER.
 3. ALL EXCAVATION AND TRENCHING SHALL MEET OSHA REQUIREMENTS.

1. CULVERT TRENCH DETAIL
SCALE: 1/4" = 1'-0" (1/16" BENT)



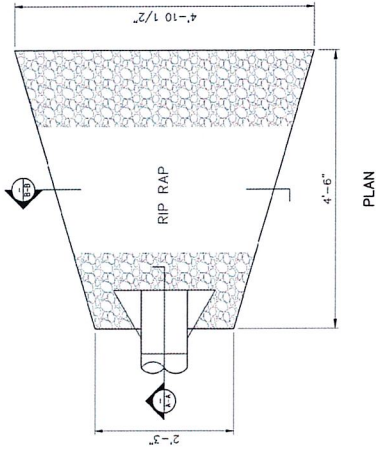
- EARTH WORK, SUBGRADE COMPACTION, & SELECT GRANULAR FILL
1. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT, AS PREPARED FOR THIS SITE, WHEN NECESSARY, FOR SITE WORK PREPARATION, & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED AND GEOTEKSTILE FABRIC INSTALLED AS REQUIRED FOR UNSTABLE SOIL CONDITION.
 2. ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM D-1557) AND WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
 3. CONTRACTOR TO ASSURE THAT EXISTING DRAINAGE PATTERNS ARE MAINTAINED.

1. GRAVEL DRIVE CROSS SECTION & SWALE DETAIL
SCALE: 3/8" = 1'-0" (1/16" BENT)
3/4" = 1'-0" (3/16" BENT)



- SECTION A-A
- SECTION B-B
- FLARED END SECTION
- TOP OF RIP RAP BLEND INTO EXISTING GRADE
- EXISTING GRADE
- 4 1/2"
- 4 1/2"
- 1'-1 1/2"
- 4'-10 1/2"
- FILTER FABRIC TO BE APPROVED EQUAL
- FILTER FABRIC TO BE APPROVED EQUAL
- ROCK RIP-RAP SHALL BE COMPACTED TO 95% BY WEIGHT LARGER THAN 4" (MAX 6")

1. OUTLET PROTECTION
SCALE: 1/4" = 1'-0" (1/16" BENT)



PLAN



075 JOHN STREET SUITE 100
WEST HOBOKEN, NJ 07090



TECTONIC
TECHNOLOGICAL SOLUTIONS, INC.
1000 ROUTE 208
SUITE 100
ROSELAND, NJ 07068
PHONE: (201) 983-8333
FAX: (201) 983-8334
WWW.TECTONICSOLUTIONS.COM

NO.	DATE	ISSUE	BY	TR
1	10/14/24	FOR ZONING		

RELEASED BY: _____ DATE: _____



UNAUTHORIZED REPRODUCTION OR ACCESS TO A PLAN OR SPECIFICATION IS A VIOLATION OF THE PROFESSIONAL ENGINEER'S ETHICS AND IS PROHIBITED BY LAW. ANY REPRODUCTION OR ACCESS TO A PLAN OR SPECIFICATION WITHOUT THE WRITTEN PERMISSION OF THE PROFESSIONAL ENGINEER IS A VIOLATION OF THE PROFESSIONAL ENGINEER'S ETHICS AND IS PROHIBITED BY LAW.

DATE: 10/14/24

SCALE: 1/4" = 1'-0" (1/16" DIA. SIZE)
1/2" = 1'-0" (20/32 DIA. SIZE)

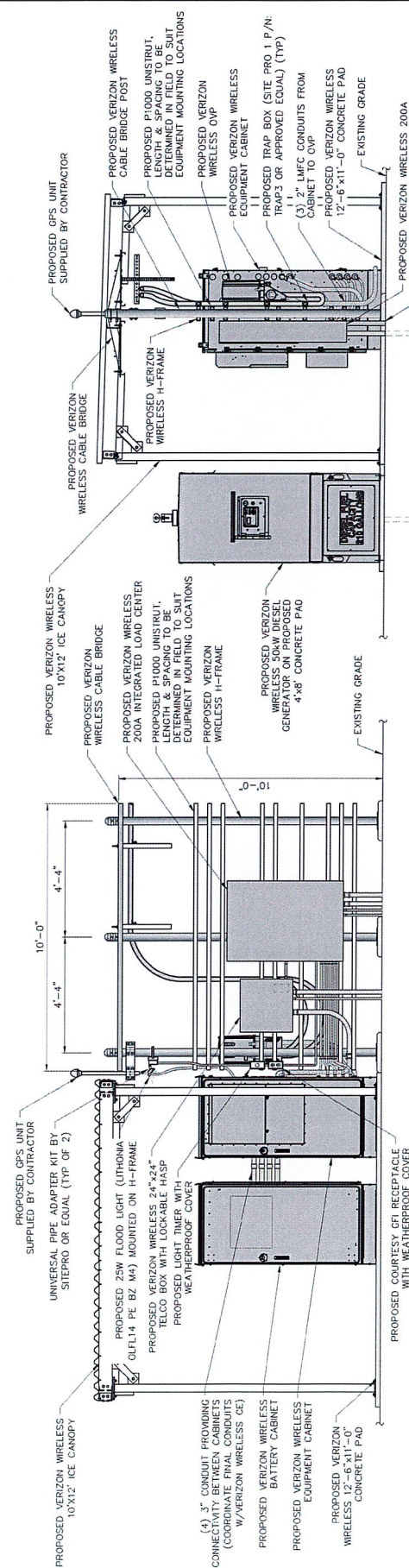
RENSSELAER SQUARE
FUZE ID#: 17022367
MDG#: 5000921702

4478 NY 43
TOWN OF NORTH GREENBUSH
RENSSELAER COUNTY
NY 12144

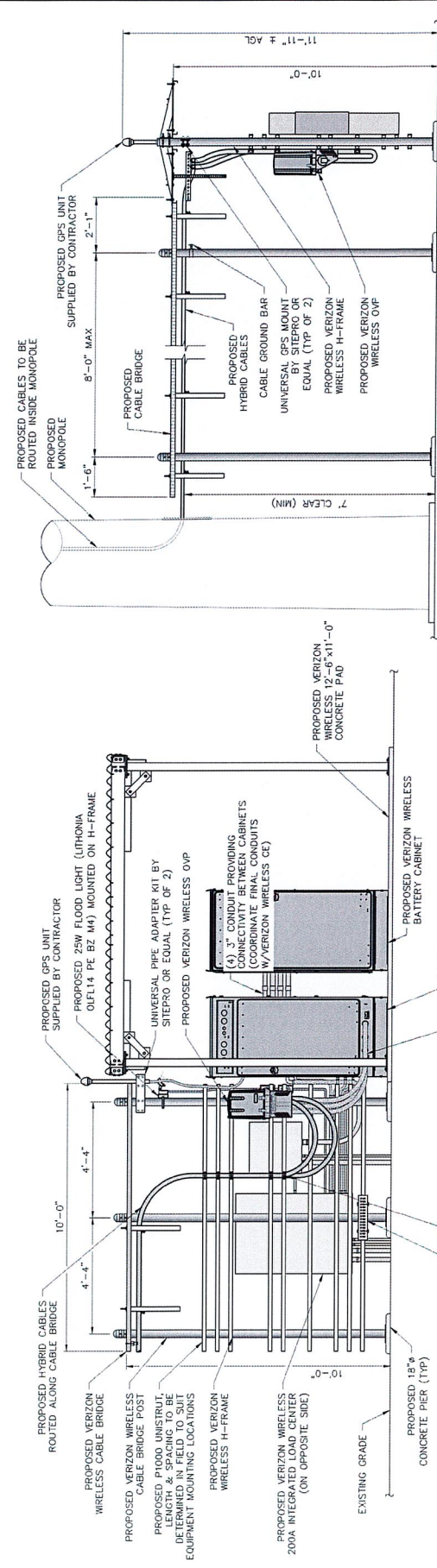
EQUIPMENT ELEVATIONS

SHEET NUMBER

C-5



1 FRONT ELEVATION



2 SIDE ELEVATION

3 REAR ELEVATION

4 EQUIPMENT ELEVATION

5 EQUIPMENT ELEVATION